



THE CITY OF SAN DIEGO

SPECIFICATIONS FOR

Carports

CITY OF SAN DIEGO DEVELOPMENT SERVICES
1222 FIRST AVENUE, MS 301, SAN DIEGO, CA 92101
Call (619) 446-5300 for appointments and (619) 446-5000 for information.

INFORMATION
BULLETIN
205
August 2003

This Information Bulletin describes the minimum requirements for obtaining carport permits using the City of San Diego standard plan, ICBO approved plans, or other conventionally framed plans. For clarification of the permit process, visit the Development Services Center, third floor, 1222 First Avenue, or telephone (619) 446-5000.

I. DEFINITION

A. A carport is a covered motor vehicle parking structure accessory to a single or duplex dwelling unit. It may be freestanding or attached to another structure. A carport cannot exceed 1,000 square feet in area or one story in height and must be entirely open on two or more sides except for structural supports. There can be no enclosed use above a carport. Any structure which does not meet the above definition must comply with all regulations relating to a garage.

II. WHEN IS A PERMIT REQUIRED?

A building permit is required for any new carport, or for repair or enclosure of an existing carport. A final inspection must be passed before the work is considered completed by the City of San Diego.

III. YOUR OPTIONS FOR SERVICE

Carport permits may be obtained over-the-counter when using the City of San Diego standard plan, ICBO-approved plans or designed using conventional wood framing. All other projects are to be submitted. See the Project Submittal Requirements booklet.

- Appointments are recommended for over-the-counter plan review and submitted projects. Telephone (619) 446-5300 to schedule an appointment.
- Home Owners' Saturday service is available Saturdays from 8 to 11 a.m. *by appointment only*. Telephone (619) 446-5300 to schedule an appointment for Home Owners' Saturday Service.
- Plans may be dropped off at the Screening Counter for in-house plan review. The customer will be notified by telephone when the review has been completed.

IV. PROJECT FEES

Fees which include Plan Check, Permit and Inspection are charged at initial review. For more information, see Information Bulletin #501.

Documents referenced in this Information Bulletin

- Permit Application, DS-3032
- Owner-Builder Verification, DS-3042
- Information Bulletin 112, "Minimum Standards for Construction Specifications"
- Information Bulletin 117, "Regulations Covering Permit Expiration and Extension"
- Information Bulletin 165, "How to Obtain A Right-of-Way Permit for Standard Public Improvements"
- Information Bulletin 501, "Fee Schedule, Construction Permits - Structures"
- Building Newsletter 23-4
- Project Submittal Requirements Booklet

V. DRAWINGS TO PROVIDE/FORMS TO COMPLETE

Plans must be drawn to scale and must be of sufficient clarity to indicate the location, nature, and extent of the work proposed. Be sure to clearly label all existing and proposed construction.

Plans must show, in detail, that the proposed work will conform to the provisions of the California Building Code, Land Development Code, and all other relevant laws, ordinances, rules, and regulations. Zoning information is available at the Development Services Center, third floor, 1222 First Avenue, (619) 446-5000, or through our Web site www.ci.san-diego.ca.us/development-services.

Three sets of plans are required and must include the following:

☐ A. Plot Plan

See Figure 4 for requirements.

☐ B. Foundation and Framing Plans

Provide one of the following:

1. One copy of the City of San Diego standard plan (specifications in this information bulletin) with the proposed footing sizes, rafter sizes, and beam sizes highlighted, *or*,
2. One copy of an International Conference of Building Officials (ICBO)-approved plan available from your material supplier, *or*,
3. Three copies of any other plan. These plans should include a roof framing plan, foundation plan, elevations, cross-sections, and connection details.

This information is available in alternative formats for persons with disabilities.
To request this bulletin in alternative format, call (619) 446-5446 or (800) 735-2929 (TT).
Be sure to see us on the World Wide Web at www.sandiego.gov/development-services

DS-5205 (08-03)

❑ C. Floor Plan

For carports within 6'-0" of a dwelling, include a floor plan and show the following information:

1. Use and dimensions of all rooms adjacent to the carport.
2. Size and type of all windows and doors from those rooms.

❑ D. Permit Application

All projects must be submitted with a Permit Application. Instructions can be found on the reverse side of the application. If you intend to obtain your permit on the same day as plan review, the application must be fully completed. Note: there are no exceptions to the Workers' Compensation Insurance requirements. If the property owner is doing the construction work or is hiring a number of different contractors, a separate Owner-Builder Verification form must be signed by the owner at the Development Services Center before the permit can be issued.

VI. ADDITIONAL REGULATIONS

A. If carport posts are to be located less than 3'-0" from the property line (zoning regulations permitting), the carport may require a parapet on the property line side, protected on the exterior with material approved for one-hour fire-resistive construction. No openings are permitted in the wall or parapet (See Sections 310.3 and 709.4 of the California Building Code). Exception: no wall is required on the side of the carport adjacent to a street or alley.

B. No fire protection is required for the common wall between a one- or two-dwelling unit structure and a carport (Section 302.1, exception 3).

C. When exterior openings required for light and/or ventilation occur in the wall of the dwelling unit beneath the carport roof, the minimum height of the carport roof is 7'-0", measured from the parking surface to the underside of the rafters (Section 1203.1, exception 1). When no required openings exist in the wall beneath the carport roof, there is no minimum required height.

D. All electrical wiring and equipment must comply with regulations for exterior installation.

VII. CURB CUTS

Cutting the curb, closing an existing curb cut or paving a driveway on public property requires a separate permit. See Information Bulletin 165, "How to Obtain A Right-of-Way Permit for Standard Public Improvements."

VIII. CONSTRUCTION SPECIFICATIONS

Following are the minimum construction specifications for carports.

A. The concrete mix for footings must meet a compressive strength of $f'_c = 2,000$ psi minimum or the following proportions by volume:

- 1 part Portland cement
- 2 1/2 parts sand
- 3 1/2 parts 3/4-inch maximum-size gravel
- 7 gallons of water maximum per sack of cement

B. Lumber must be Douglas fir-larch No. 2 or better. All lumber must be grade-marked. Joists, girders, and posts may be required to be protected against decay and termites. See Building Newsletter 23-4 and Section 2317.2 of the California Building Code for details. Single copies of the building newsletter are available from reception on the fourth floor of the Development Services Center. All posts must be a minimum of 4x4.

C. The post anchorage and bracing details shown on the following pages have been approved by the City of San Diego for carports.

1. Posts must be anchored at the lower end and must be braced at the upper end using any of the details shown in Figure 2. Decorative-type bracing may be substituted if the same resistance to lateral loading is provided.
2. Post anchorage to slabs may be accomplished with a standard approved post base installed per manufacturer's instructions. The footing must be adequate for the load applied. See Section IX below and Table A. When the load on supporting posts does not exceed 750 pounds per post, a minimum 3 1/2-inch-thick concrete slab-on-grade may be substituted for the pad footings shown on the typical framing details.

D. When it is desired to connect and support one side of the carport structure by attaching it directly to the dwelling unit, the rafter spacing and beam sizes may be as shown in Tables B and C. However, the main beam may be replaced on the side attached to the dwelling unit with a ledger the same size as the rafters and fastened to the studs with 1/2" x 5" lag screws spaced at 32" maximum on center when the rafter span does not exceed 7'-6". Lag screws may be spaced at 16" maximum on center when the rafter span does not exceed 15'-0". Attaching the rafters to existing dwelling unit rafters is not recommended. If a ledger beam is not used, carport rafters should be notched and placed directly on the double top plate of the dwelling unit. See Information Bulletin 112, "Minimum Standards for Construction Specifications," for further information on notching.

E. Specify roof covering (shingles, shakes, etc.) when submitting plans. If nominal one-inch-thick roof sheathing is used, the roof may have rafters spaced not more than 32" on center. If plastic roof coverings are used, installation must be according to manufacturer's recommendations and the corrugations must be placed perpendicular to and across the supports. Roof systems shall be sloped 1/4 inch in 12 inches for drainage.

IX. INSPECTIONS

An Inspection Record Card is issued at the time the permit is obtained. The inspector signs this card as the construction is inspected and approved. The approved plans, the Inspection Record Card, and the permit are important records and should be retained.

A combination permit is active for 180 days. Each inspection scheduled and passed extends the permit 180 days. Permits approaching expiration can be extended under special circumstances. Refer to Information Bulletin 117, "Regulation Covering Permit Expiration and Extension," for more information.

Inspections are required at the following times:

A. When footings have been excavated but before concrete is placed,

B. When ledger beams are attached to an existing structure, and

C. When work is complete.

Note that the project is not legally complete until there is an approved final inspection. Call (858) 581-7111 to schedule inspections.

X. TABLES

Tables A, B, and C make the following assumptions:

Roof live load is 10 psf.

Rood dead load is 7 psf.

All lumber is to be Douglas fir-larch No. 2 or better:

$F_b = 825$ psi

$F_v = 90$ psi

$E = 1,200,000$ psi

Repetitive member use.

All posts are to be 4x4 minimum.

Soil bearing pressure is 1,000 psf minimum.

If the above information differs, values in the tables must be adjusted.

Table A/Minimum Square Footing Sizes (Inches)*

Post Spacing (Feet)	Rafter Span (Feet)							
	6	8	10	12	14	16	18	20
4	12*	12*	12*	12*	12*	12*	14	14
6	12*	12*	14	14	14	14	16	16
8	14	14	14	16	16	16	18	20
10	14	16	16	18	18	18	20	22
12	16	16	18	20	20	20	22	24
14	16	18	20	20	22	22	24	24
16	18	20	20	22	24	24	27	27
18	20	20	22	24	24	24	27	30
20	20	22	24	24	27	27	30	30

Table B/Minimum Rafter Sizes (Inches)

Rafter Span (feet)	Rafter Spacing Center-to-Center (Inches)			
	12	16	24	32
	(5/16" plywood sheathing)	(3/8" plywood sheathing)	(1/2" plywood sheathing)	(5/8" plywood sheathing)
6	2x4	2x4	2x4	2x6
7	2x4	2x4	2x6	2x6
8	2x4	2x6	2x6	2x6
9	2x6	2x6	2x6	2x6
10	2x6	2x6	2x6	2x8
11	2x6	2x6	2x8	2x8
12	2x6	2x8	2x8	2x8
13	2x8	2x8	2x8	2x10
14	2x8	2x8	2x10	2x10
15	2x8	2x8	2x10	2x10
16	2x8	2x10	2x10	2x12
17	2x10	2x10	2x12	2x12
18	2x10	2x10	2x12	2x12
19	2x10	2x10	2x12	2x14
20	2x10	2x12	2x12	2x14

Table C/Minimum Beam Sizes (Inches)

Post Spacing (Feet)	Rafter Span (In Feet)								
	4	6	8	10	12	14	16	18	20
4	4x4	4x4	4x4	4x4	4x4	4x4	4x4	4x4	4x4
6	4x4	4x4	4x4	4x4	4x6	4x6	4x6	4x6	4x6
8	4x4	4x6	4x6	4x6	4x6	4x6	4x6	4x8	4x8
10	4x6	4x6	4x6	4x8	4x8	4x8	4x8	4x8	4x8
						6x8	6x8	6x8	6x8
12	4x6	4x8	4x8	4x8	4x8	4x10	4x10	4x10	4x10
				6x8	6x8	6x8	6x8	6x8	6x10
14	4x8	4x8	4x10	4x10	4x10	4x10	4x12	4x12	4x12
		6x8	6x8	6x8	6x8	6x10	6x10	6x10	6x10
16	4x8	4x10	4x10	4x10	4x12	4x10	4x12	4x12	4x14
	6x8	6x8	6x8	6x10	6x10	6x10	6x10	6x12	6x12
18	4x8	4x10	4x12	4x12	4x12	4x12	4x14		
	6x8	6x8	6x10	6x10	6x10	6x12	6x12	6x12	6x14
20	4x8	4x12	4x12	4x12	4x14	4x14			
	6x8	6x10	6x10	6x12	6x12	6x12	6x14	6x14	6x14

Notes:

* See dimension "A" on "Figure 2, Case 4."

** Must be continuous over two or more spans, face grain perpendicular to supports and c-c, c-d, Structural I or Structural II grades only.

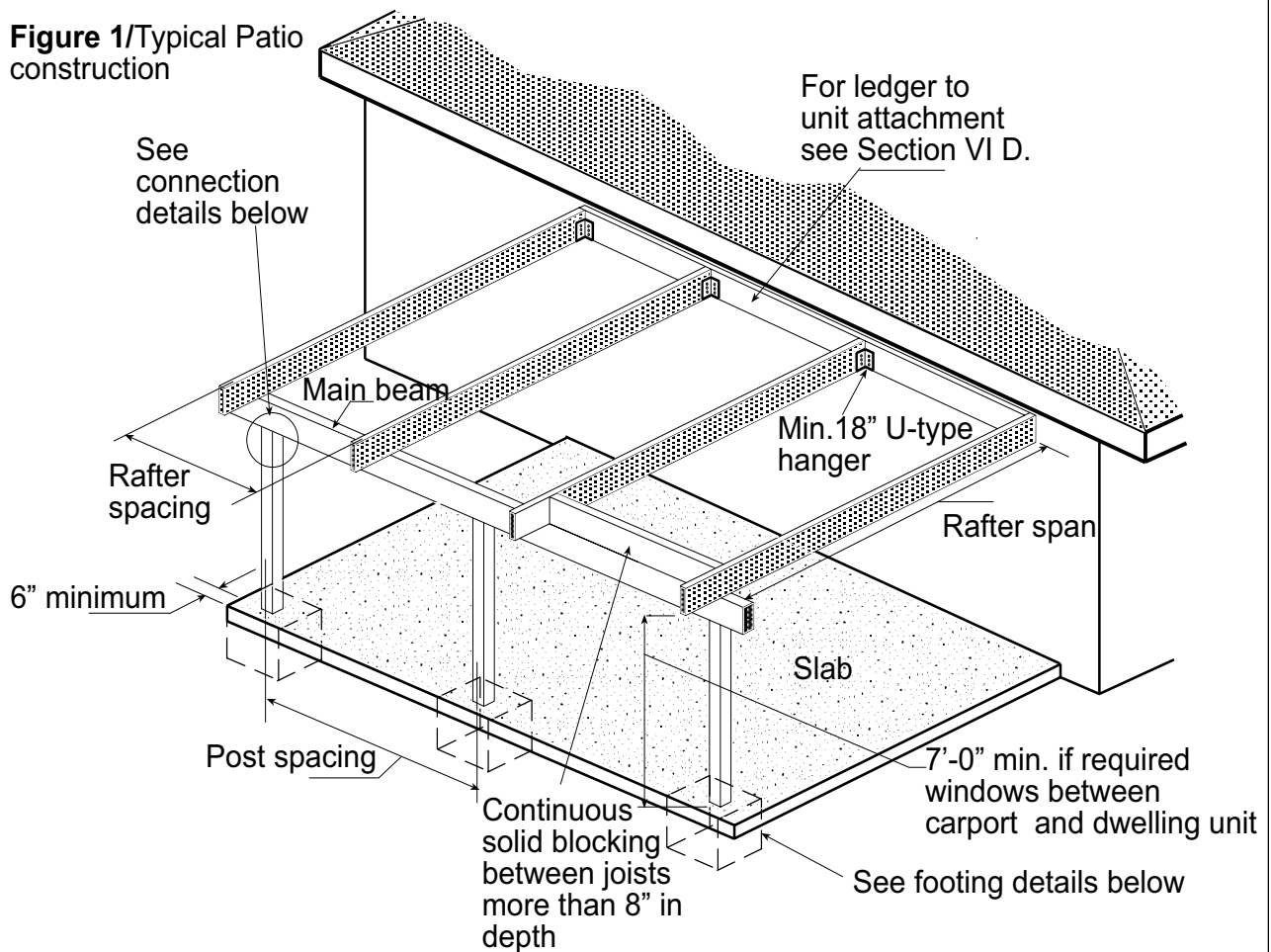
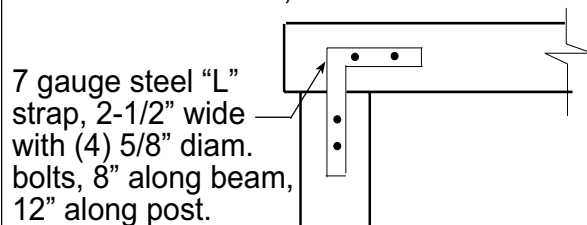
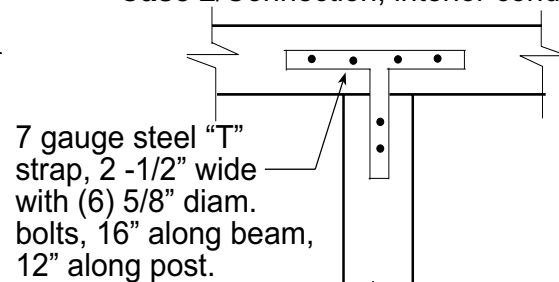
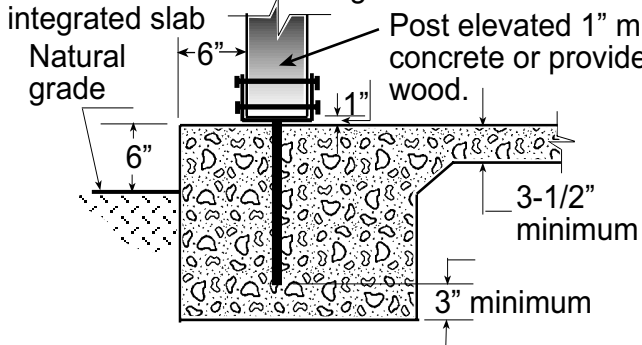
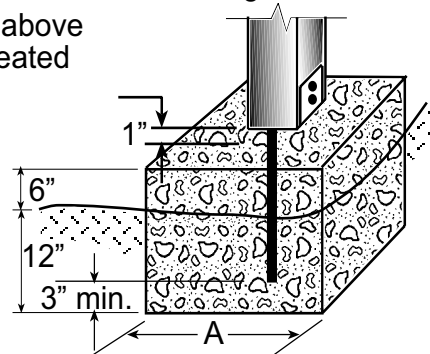
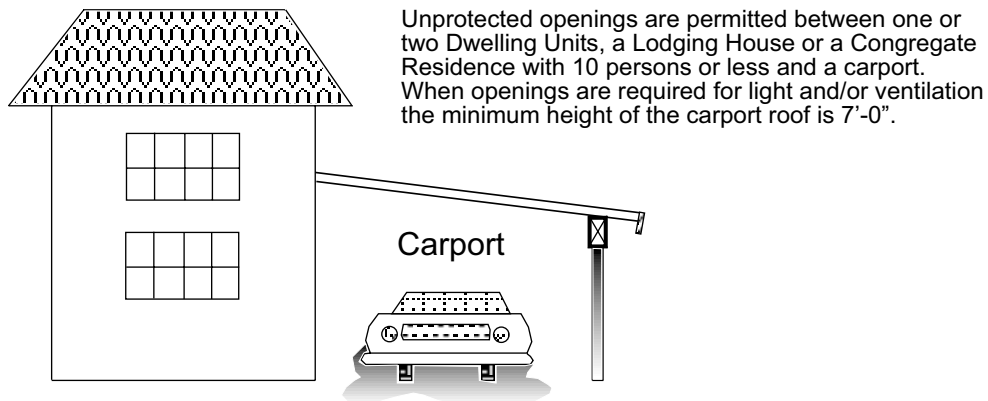
Figure 1/Typical Patio construction**Figure 2/Connection, anchor and footing details****Case 1/Connection, end condition****Case 2/Connection, interior condition****Case 3/Anchor and footing detail integrated slab****Case 4/Anchor and footing detail, isolated pier**

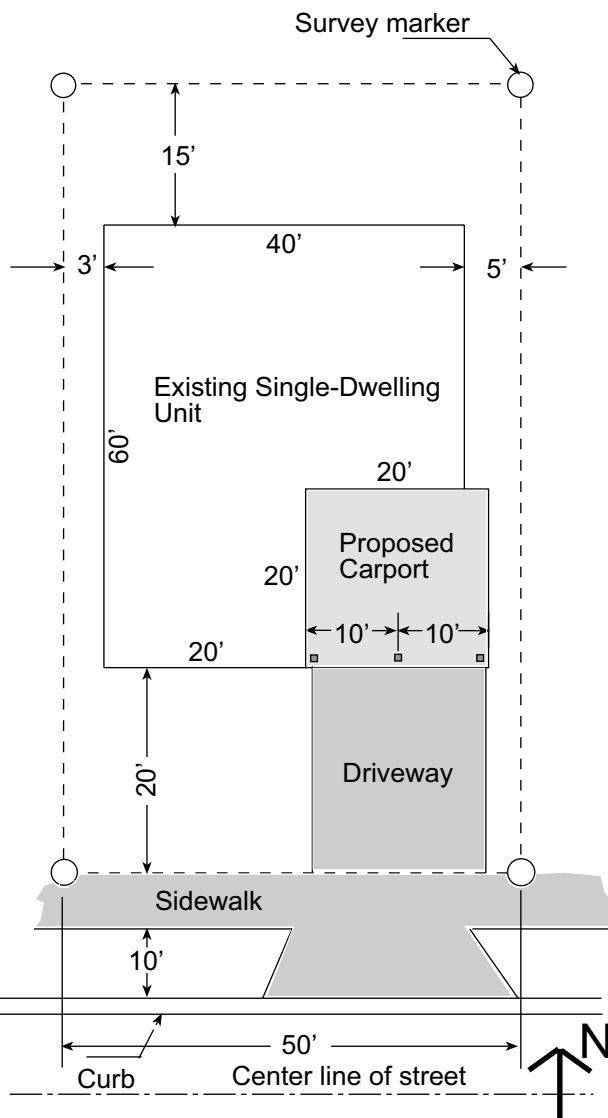
Figure 3/Elevation view of Carport**Figure 4/Sample Carport Plot Plan**

Contact the Development Services Center at (619) 446-5000 for yard setback and other requirements before drawing plot plan.

Three copies of a plot plan are required for a permit. You must include information on each of the following items on the plot plan:

1. Name of owner.
2. Address and Assessor's Parcel Number where carport is to be built.
3. Legal description of property.*
4. North arrow and scale. Suggested scale: 1 inch equals 20 feet.
5. Boundaries and dimensions of property.*
6. Names of bordering streets.*
7. Distance from front property line to face of curb (or center line of street if no curb exists).*
8. Width of alley(s), if any.*
9. Location and width of easements. Private easements should be shown on the property's deed.*
10. Location and dimensions of existing buildings, structures, retaining walls, paved parking, and driveways. Include distance from property lines.
11. Location and dimensions of proposed carport. Include distance from property lines.
12. Location and spacing of all posts supporting carport.
13. Existing survey hubs, pipes, and similar permanently installed property line identification.
14. Location of existing curb cuts to be closed or altered, and location of new curb cuts. A separate permit must be obtained for new curb cuts. See Section VI.

*This information is available from the Records Section, (619) 446-5200.



Scale: 1 inch equals 20 feet